

REVISIONS	BY

**STEWART ASSOCIATES**  
 ARCHITECTURE • INTERIORS • PLANNING  
 1351 LAUREL ST. SAN CARLOS, CA 94070 650.591.8283

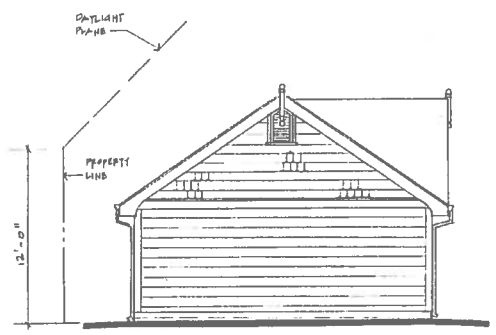


**NEW SECOND UNIT/GARAGE**  
**353 N. CLAREMONT STREET**  
**SAN MATEO, CA**

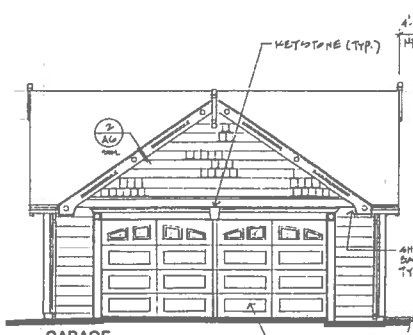
Date 5-28-09  
 Scale 1/4" = 1'-0"  
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 Job 0610  
 Sheet **A4**  
 Of 1 Sheets

**GARAGE/MAIN HOUSE  
 TYPICAL MATERIALS**

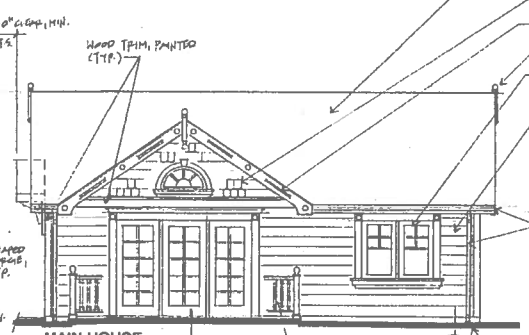
- ASPHALT SHINGLES
- HARDENING INGLE - PAINT
- APPLIED FLORE TRIM - PAINT
- GABLE ROOF & BALL
- VINYL WINDOWS W/ WOOD TRIM & ROBBETE CORNERS
- HARD PLANK SIDING - PAINT
- ALUMINUM TRIM & DR, PAINTED - TYP.



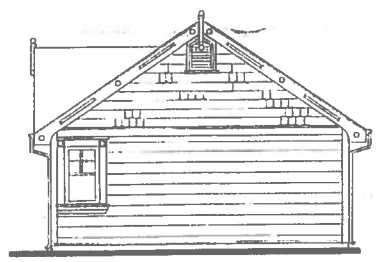
**LEFT SIDE ELEVATION  
 GARAGE**



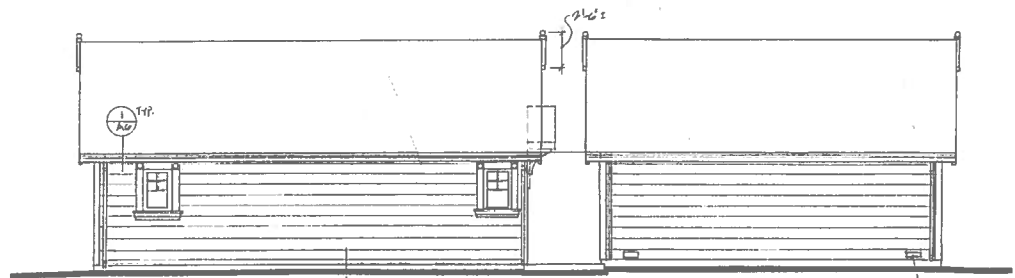
**GARAGE  
 FRONT ELEVATION**



**MAIN HOUSE  
 FRONT ELEVATION**

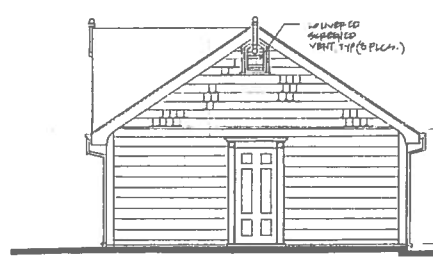


**RIGHT SIDE ELEVATION  
 MAIN HOUSE**

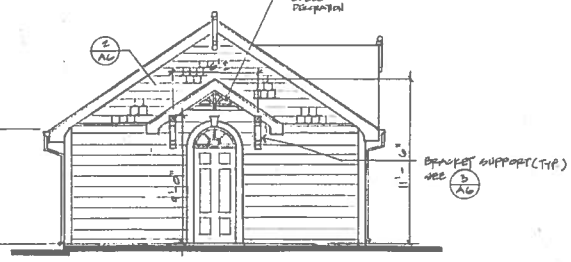


**MAIN HOUSE  
 REAR ELEVATION**

**GARAGE  
 REAR ELEVATION**



**RIGHT SIDE ELEVATION  
 GARAGE**



**LEFT SIDE ELEVATION  
 MAIN HOUSE**

### TYPICAL FLOOR PLAN NOTES

NOTE: ALL NOTES MAY NOT BE USED.

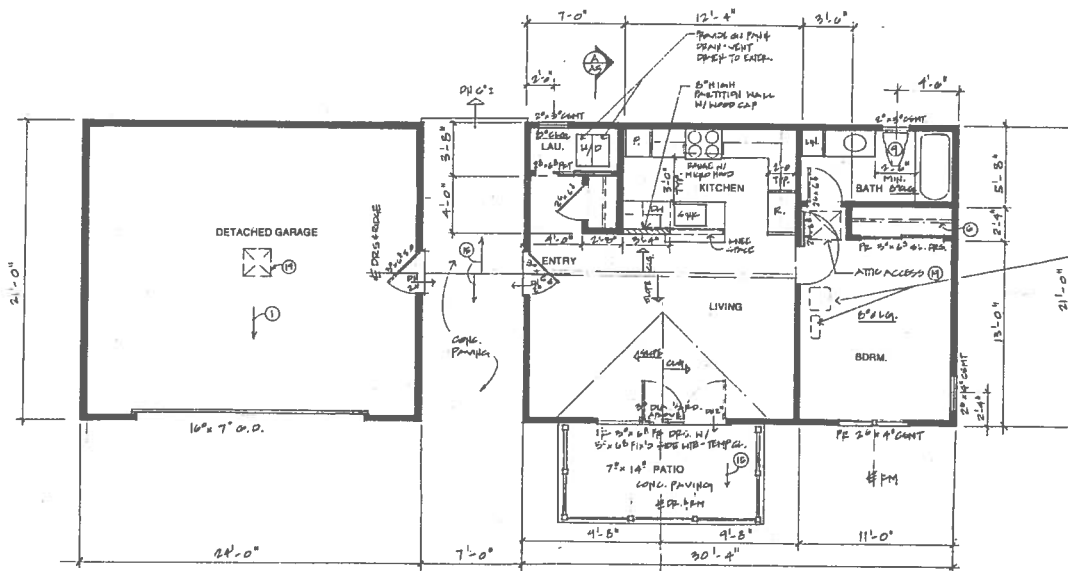
- ① SLOPE GARAGE SLAB 1/8" TO DOOR.
- ② 20 MINUTE RATED DOOR WITH CLOSER & FULL PERIMETER WEATHERSTRIPPING.
- ③ 5/8" TYPE 'X' GYP. BD. @ GARAGE WALL & CEILING.
- ④ 36" HIGH GUARDRAIL.
- ⑤ 1-1/2" DIAMETER HANDRAIL @ 2'-10" ABOVE STAIR TREAD.
- ⑥ SHELF & POLE TYPICAL @ CLOSETS.
- ⑦ TEMPERED GLASS SHOWER ENCLOSURES TYPICAL.
- ⑧ TILE OVER MORTAR BED OVER HOT MAPPED MEMBRANE @ SHOWER FLOOR. TILE OVER MOISTURE RESISTANT GYP. BD. TO 70" ABOVE DRAIN INLET @ WALLS, TYPICAL.
- ⑨ 1.6 GALLON MAXIMUM FLUSH TOILETS, SEE PLUMBING NOTES.
- ⑩ FLOOR TILE HEARSTH PER MANUFACTURER'S RECOMMENDATIONS.
- ⑪ 9" TREAD MINIMUM, 8" RISE MAXIMUM @ STAIRS, U.O.N.
- ⑫ 1 HOUR CONSTRUCTION (5/8" TYPE '2' GYPSUM BOARD).
- ⑬ METAL FIREPLACE - MAJESTIC, 1CND/ ER-8677.
- ⑭ GAS FIREPLACE - MAJESTIC, AGA CERTIFICATE #T1474019.
- ⑮ 1/4" PER FOOT SLOPE TYPICAL @ DECK.
- ⑯ STRAP WATER HEATER PER CODE, SEE PLUMBING NOTES.
- ⑰ 18" HIGH PLATFORM FOR WATER HEATER & FORCED AIR UNIT @ GARAGE.
- ⑱ ACCESS PANEL FOR THE SPA PUMP.
- ⑲ ATTIC ACCESS PANEL 24" x 30" MINIMUM. IF ATTIC CONTAINS MECHANICAL UNIT OR OTHER EQUIPMENT, SIZE ACCESS PANEL SO EQUIPMENT CAN BE REMOVED (30" x 30" MINIMUM).
- ⑳ UNDER FLOOR ACCESS PANEL 18" x 24" MINIMUM.
- ㉑ ADDRESS NUMBERS TO BE CLEARLY VISIBLE FROM THE STREET, 4" HIGH WITH 1/2" STROKE AND CONTRAST FROM BACKGROUND. PROVIDE ILLUMINATION.

### WINDOW & SL. GL. DOOR NOTES

1. ALL WINDOWS, GLASS DOORS AND SIDELIGHTS SHALL BE DOUBLE GLAZED WITH WHITE ALUMINUM, AND WHITE INSECT SCREENS. ALL WINDOWS SHALL HAVE VINYL FRAMES. ALL GLASS DOORS AND SIDELIGHTS SHALL HAVE WOOD FRAMES. SIMULATED DIVIDED LITE (SHOWN WHERE).
2. ALL SIZES SHOWN ARE NOMINAL. VERIFY ROOM-IN DIMENSIONS IN FIELD AND WITH MANUFACTURER PRIOR TO ORDERING.
3. GLAZING SHALL BE SAFETY AT HAZARDOUS LOCATIONS INCLUDING, BUT NOT LIMITED TO THE FOLLOWING: GLASS DOORS AND WINDOWS WITHIN 18" OF FINISHED FLOOR, WITHIN 24" OF OPERABLE DOORS AND LESS THAN 60" ABOVE STANDING SURFACE OR DRAIN INLET, AND AT TUB, SHOWER AND OTHER BATHING ENCLOSURES. IDENTIFICATION SHALL BE LABELED ACCORDING TO CODE. SEE CBC SECTION 2406.
4. AT LEAST ONE WINDOW AT EACH BEDROOM TO HAVE EGRESS WINDOW AS REQUIRED BY CODE (MINIMUM 5.7 SF NET TOTAL OPERABLE AREA, WINDOW NET CLEAR OPERABLE WIDTH OF 20", WINDOW NET CLEAR OPERABLE HEIGHT OF 24", AND MAXIMUM SILL HEIGHT OF 44").
5. SEE TITLE 24 ENERGY COMPLIANCE FOR TYPE OF GLAZING REQUIRED (SINGLE OR DOUBLE).
6. ALL WINDOWS AND PATIO DOORS SHALL BE WOOD (MARVIN, NORCO, OR KOLBE & KOLBE). INSECT SCREENS SHALL BE PROVIDED.
7. ALL WINDOWS AND DOORS SHALL BE FACTORY PRIMED INSIDE AND OUT, UNLESS INDICATED OTHERWISE ON PLANS.
8. SUPPLIER SHALL PREPARE A WINDOW SCHEDULE AND SHOP DRAWINGS FOR ARCHITECT/OWNER APPROVAL PRIOR TO ORDERING.
9. PROVIDE STUCCO MOLDING AT ALL WOOD EXTERIOR WINDOWS AND GLASS DOORS.

### DOOR NOTES

1. ALL NEW INTERIOR DOORS SHALL BE PAINT GRADE, 1-3/8" THICK. STYLE AND FINISH TO BE SELECTED BY OWNER, UNLESS OTHERWISE NOTED. FOR REMODELING, STYLE AND FINISH SHALL MATCH EXISTING, UNLESS OTHERWISE NOTED.
2. ALL NEW EXTERIOR DOORS SHALL BE PAINT GRADE, 1-3/4" THICK. STYLE AND FINISH AS SHOWN ON DRAWINGS. VERIFY WITH OWNER.
3. ALL HARDWARE SHALL BE SELECTED BY OWNER. FOR REMODELING, ALL HARDWARE SHALL MATCH EXISTING, UNLESS OTHERWISE NOTED. RE-USE OR MATCH EXISTING HARDWARE AT REPLACEMENT DOORS AS NOTED ON PLANS.
4. SIZ SHALL BE AS SPECIFIED ON DRAWINGS. VERIFY SIZES IN FIELD AND WITH MANUFACTURER PRIOR TO ORDERING.
5. PROVIDE PRIVACY LOCKS AT ALL BATHROOMS AND BEDROOMS. PROVIDE PASSAGE SETS AT ALL OTHER LOCATIONS.
6. PROVIDE FULL PERIMETER WEATHER STRIPPING AND BRONZE ALUMINUM THRESHOLD @ ALL NEW EXTERIOR DOORS.
7. NEW DOORS TO GARAGE FROM HOUSE TO BE 20 MINUTE FIRE RATED WITH SELF CLOSING HINGE AND TIGHT FIT.



FLOOR PLAN

REVISIONS BY

NO.	DATE	BY

**STEWART ASSOCIATES**  
 ARCHITECTURE • INTERIORS • PLANNING  
 1251 LAUREL ST. SAN CARLOS, CA 94070 650-591-8283



PAUL J. STEWART  
 ARCHITECT  
 IN ATTORNEY-DEFENSE  
 LOCATION  
 SEE ME1 Exp.  
 ADDITIONAL INFORMATION

**NEW SECOND UNIT/GARAGE**  
 353 N. CLAREMONT STREET  
 SAN MATEO, CA

Date 5-28-09  
 Scale 1/4" = 1'-0"  
 Drawn DJL  
 Job 0010  
 Sheet  
**A2**  
 Of 2 sheets

TITLE 24 COMPLIANCE

Certificate of Compliance - Residential (Part 1 of 4) CF-18

2018 Compliance Checklist

Item	Required	Provided	Notes
1.1.1.1	Y	Y	
1.1.1.2	Y	Y	
1.1.1.3	Y	Y	
1.1.1.4	Y	Y	
1.1.1.5	Y	Y	

Certificate of Compliance - Residential (Part 2 of 4) CF-18

2018 Compliance Checklist

Item	Required	Provided	Notes
1.2.1.1	Y	Y	
1.2.1.2	Y	Y	
1.2.1.3	Y	Y	
1.2.1.4	Y	Y	

Certificate of Compliance - Residential (Part 3 of 4) CF-18

2018 Compliance Checklist

Item	Required	Provided	Notes
1.3.1.1	Y	Y	
1.3.1.2	Y	Y	
1.3.1.3	Y	Y	

Compliance of Compliance - Residential (Part 4 of 4) CF-18

2018 Compliance Checklist

Item	Required	Provided	Notes
1.4.1.1	Y	Y	
1.4.1.2	Y	Y	
1.4.1.3	Y	Y	

Mandatory Measures Summary - Residential (Page 1 of 2) MF-18

Measure	Compliance
1.1.1.1	Y
1.1.1.2	Y
1.1.1.3	Y
1.1.1.4	Y
1.1.1.5	Y
1.1.1.6	Y
1.1.1.7	Y
1.1.1.8	Y
1.1.1.9	Y
1.1.1.10	Y
1.1.1.11	Y
1.1.1.12	Y
1.1.1.13	Y
1.1.1.14	Y
1.1.1.15	Y
1.1.1.16	Y
1.1.1.17	Y
1.1.1.18	Y
1.1.1.19	Y
1.1.1.20	Y
1.1.1.21	Y
1.1.1.22	Y
1.1.1.23	Y
1.1.1.24	Y
1.1.1.25	Y
1.1.1.26	Y
1.1.1.27	Y
1.1.1.28	Y
1.1.1.29	Y
1.1.1.30	Y
1.1.1.31	Y
1.1.1.32	Y
1.1.1.33	Y
1.1.1.34	Y
1.1.1.35	Y
1.1.1.36	Y
1.1.1.37	Y
1.1.1.38	Y
1.1.1.39	Y
1.1.1.40	Y
1.1.1.41	Y
1.1.1.42	Y
1.1.1.43	Y
1.1.1.44	Y
1.1.1.45	Y
1.1.1.46	Y
1.1.1.47	Y
1.1.1.48	Y
1.1.1.49	Y
1.1.1.50	Y

Mandatory Measures Summary - Residential (Page 2 of 2) MF-18

Measure	Compliance
1.1.1.51	Y
1.1.1.52	Y
1.1.1.53	Y
1.1.1.54	Y
1.1.1.55	Y
1.1.1.56	Y
1.1.1.57	Y
1.1.1.58	Y
1.1.1.59	Y
1.1.1.60	Y
1.1.1.61	Y
1.1.1.62	Y
1.1.1.63	Y
1.1.1.64	Y
1.1.1.65	Y
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1.1.1.67	Y
1.1.1.68	Y
1.1.1.69	Y
1.1.1.70	Y
1.1.1.71	Y
1.1.1.72	Y
1.1.1.73	Y
1.1.1.74	Y
1.1.1.75	Y
1.1.1.76	Y
1.1.1.77	Y
1.1.1.78	Y
1.1.1.79	Y
1.1.1.80	Y

PROJECT DIRECTORY

**OWNER:**  
BO THORENFELDT  
650-558-9495

**ARCHITECT:**  
STEWART ASSOCIATES  
650-591-8283

**STRUCTURAL CONSULTANT:**  
MARTINA TREISTER  
541-488-4889

**ENERGY CONSULTANT:**  
DESIGN TEK ENERGY COMPLIANCE  
650-329-0955

**SURVEYOR:**  
B&H SURVEYING, INC.  
650-637-1590

**CIVIL ENGINEER:**  
CLIFFORD BECHTEL & ASSOCIATES  
650-333-0103

032-203-060  
2006 225 218  
1-18-2007

APPROVED

032-203-060  
B&H SURVEYING, INC.  
1/18/07

- PROJECT ROUTING
- Plan Check # 225245
- Building  Public Works
- Fire  Other
- Planning
- PROJECT COPY  
OFFICE COPY  
ASSESSOR COPY

GENERAL NOTES

- RULES AND REGULATIONS**  
ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND SHALL BE PER INDUSTRY STANDARDS.
- NEGOTIATED CONTRACT**  
THREE DOCUMENTS WERE PREPARED FOR A NEGOTIATED CONTRACT BETWEEN THE OWNER AND CONTRACTOR. NOT ALL CONDITIONS AND DETAILS ARE SHOWN. IT SHALL BE THE OWNER AND CONTRACTOR'S RESPONSIBILITY TO SELECT ALL FINISHES AND FITTINGS.
- OWNERSHIP OF DRAWINGS**  
THESE DOCUMENTS ARE THE PROPERTY OF STEWART ASSOCIATES AND SHALL NOT BE USED FOR ANY OTHER PURPOSE EXCEPT AS APPROVED BY THE ARCHITECT.
- EXISTING CONDITIONS**  
THE CONTRACTOR SHALL EXAMINE THE SITE AND EXISTING STRUCTURES TO DETERMINE THE EXISTING CONDITIONS. NO EXTRA COMPENSATION SHALL BE ALLOWED FOR THE CONTRACTOR'S FAILURE TO DISCOVER CONDITIONS THAT ARE VISIBLE WHICH AFFECT THE CONTRACTOR'S WORK.
- COORDINATION OF WORK**  
THE LIMITS OF THE WORK ARE ESTABLISHED BY THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING TRADED PEOPLE WITHIN THESE LIMITS.
- EXAMINATION OF PLANS**  
THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL EXAMINE ALL DRAWINGS AND DETERMINE EXTENT OF WORK REQUIRED. THESE SHALL BE INCLUDED AS PART OF THE BID.
- DESIGN DATA**  
OCCUPANCY GROUP: B, DIVISION 3  
TYPE OF CONSTRUCTION: TYPE V-2
- CODES**  
ALL WORK SHALL CONFORM WITH THE FOLLOWING CODES: 2003 CBC, 2001 CBC, 2001 CPC, 2001 CEC, AND ALL OTHER APPLICABLE CODES.

DRAWING NOTES

- DIMENSIONS**  
ALL DIMENSIONS ARE GIVEN TO FACE OF STUD UNLESS OTHERWISE NOTED: C - CENTERLINE; F.O.C. - FACE OF CONCRETE; F.O.M. - FACE OF MASSOBT, ETC.
- FRAMING OF OPENINGS**  
ALL OPENINGS ARE TO BE CENTERED ON ROOFS AND/OR WALLS UNLESS OTHERWISE INDICATED ON PLAN. WHERE OPENING IS SHOWN ADJACENT TO AN INTERSECTING WALL, THE JAMB SHALL BE PLACED 4" FROM INTERSECTING WALL UNLESS OTHERWISE INDICATED ON PLAN.
- FIREPLACES**  
ALL FIREPLACES AT EXTERIOR WALLS TO HAVE OUTSIDE COMBUSTION AIR. ALL FIREPLACES TO HAVE GLASS DOORS.
- STUCCO HOLDING**  
THE CONTRACTOR SHALL PROVIDE STUCCO HOLDING AT ALL NEW EXTERIOR DOORS AND WINDOWS, UNLESS OTHERWISE NOTED.
- ROOF PITCHES**  
ROOF PITCHES SHALL BE AS SHOWN ON THE PLANS. FOR RENOVATIONS, ROOF PITCHES SHALL MATCH EXISTING UNLESS OTHERWISE NOTED. VERIFY EXACT PITCH IN FIELD.
- CUTTERS & DOWNSPOUTS**  
ALL CUTTERS AND DOWNSPOUTS SHALL BE AS SHOWN ON PLANS AND INSTALLED PER PLANS. FOR RENOVATIONS, CUTTERS AND DOWNSPOUTS SHALL MATCH EXISTING UNLESS OTHERWISE NOTED.
- STRUCTURAL INFORMATION**  
ANY STRUCTURAL INFORMATION SHOWN ON ARCHITECTURAL PLANS IS DIAGNOSTIC ONLY. SEE STRUCTURAL DRAWINGS FOR COMPLETE STRUCTURAL INFORMATION.

SHEET INDEX

- T SHEET INDEX, ENERGY COMPLIANCE
- ARCHITECTURAL
- A1 AIR PLAN
- A2 FLOOR PLAN
- A3 ROOF PLAN
- A4 ELEVATIONS
- A5 BUILDING SECTION
- A6 DETAILS
- MISCELLANEOUS/ELECTRICAL
- M61 MECH./ELEC. LAYOUT
- STRUCTURAL
- S1 FOUNDATIONAL PLAN
- S2 ROOF FRAMING PLAN
- S3 FOUNDATION & FRAMING JOBS, DETAILS
- S4 DETAILS
- S5 DETAILS
- CIVIL
- C01 GEOTECH. DRAWINGS
- SURVEY
- CITY OF SAN MATEO  
JUN 21 2006  
BUILDING DIVISION
- RESUBMITTAL

REVISIONS

NO.	DATE	BY	DESCRIPTION

STEWART ASSOCIATES  
ARCHITECTURE • INTERIORS • PLANNING  
1351 LAUREL ST. SAN CARLOS, CA 94070 650-991-9593

SEALED ARCHITECT  
CLIFFORD BECHTEL & ASSOCIATES  
DATE 1/18/07

NEW SECOND UNIT GARAGE  
353 N. CLAREMONT STREET  
SAN MATEO, CA

5-18-06

Draw: N/A  
Job: 0610

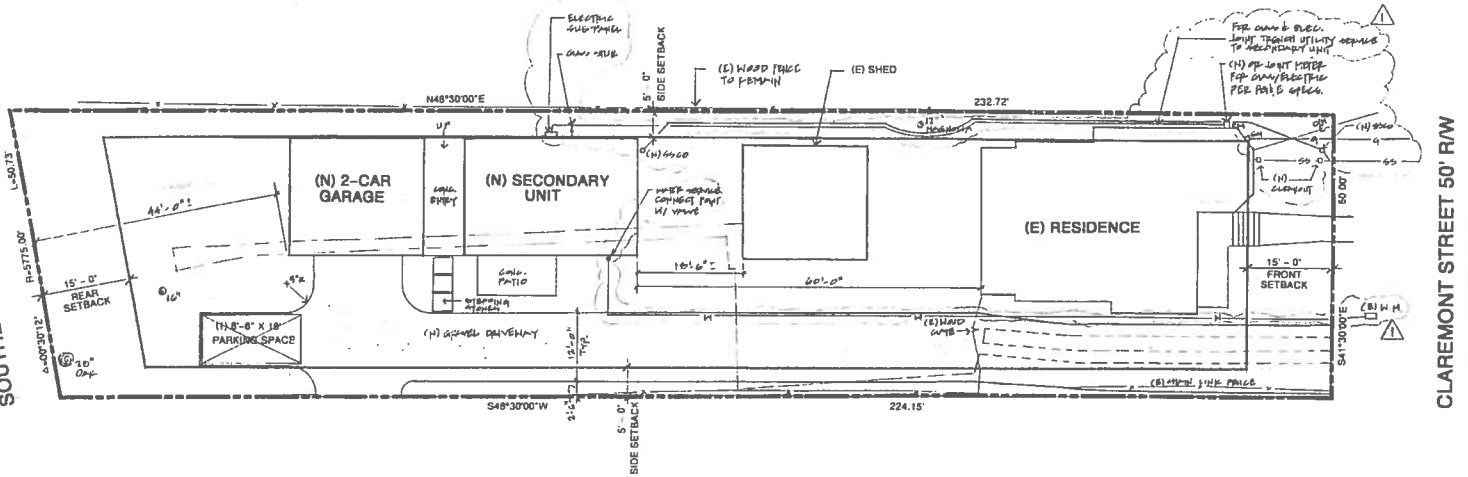
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**PLANNING DATA**

APN: 032-203-000  
 LOT AREA: 11,499 S.F.  
 AVAILABLE FLOOR AREA: 1007 S.F.  
 PROPOSED FLOOR AREA:

(E) RESIDENCE	: 1265 S.F.
(E) SHED	: 440 S.F.
<b>SUBTOTAL</b>	<b>: 1705</b>
(N) SECONDARY UNIT	: 637 S.F.
(N) 2-CAR GARAGE	: 509 S.F.
<b>TOTAL</b>	<b>: 2,846 S.F.</b>

SOUTHERN PACIFIC RAILROAD COMPANY



CLAREMONT STREET 50' RW

**SITE PLAN NOTES**

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING GRADES IN THE FIELD. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR PROVIDING ADEQUATE DRAINAGE OF ALL SURFACE WATER IN A MANNER ACCEPTABLE TO LOCAL OFFICIALS.
- THE CONTRACTOR SHALL REMOVE ALL SITE FEATURES SHOWN TO BE REMOVED, AND ALL PARTS THEREAS AS MAY BE REQUIRED FOR FOUNDATIONS AND CLEAR SPACES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE TO EXISTING FEATURES SUCH AS LANDSCAPING, WALKS, AND DRIVES.
- VERIFY ALL PROPERTY LINES, SETBACKS AND EASEMENTS PRIOR TO LAYING OUT WORK. THE OWNER ASSUMES LIABILITY FOR ALL SUCH INFORMATION AND ITS ACCURACY.
- SLOPE GRADE AWAY FROM STRUCTURE 1/4" PER FOOT MINIMUM.
- PROTECT EXISTING SITE FEATURES SUCH AS LANDSCAPING, WALKS, DRIVEWAYS, ETC. DURING CONSTRUCTION.
- ALL UTILITY CONNECTIONS SHALL BE MADE PER LOCAL JURISDICTION AND UTILITY COMPANY REQUIREMENTS. UNLESS OTHERWISE SPECIFIED, THESE CONNECTIONS SHALL BE:  
 WATER SERVICE - 2" COPPER.  
 SEWER - 4" CLAY PIPE OR CLAY.  
 ELECTRIC - METAL CONDUIT OR PVC.  
 GAS - SCHEDULE 40 BLACK STEEL WITH 2-PIN COAT OR 20 MIL SCOTCH WRAP.  
 THESE CONNECTION SIZES ARE MINIMUMS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY SIZES REQUIRED FOR THIS PROJECT PER LOCAL, STATE, AND NATIONAL CODES.

**SITE PLAN**



ALL IMPROVEMENTS NOT SHOWN ARE CIVIL QUANTITIES FOR GRADING, DRAINAGE, UTILITIES ETC.

REVISIONS	BY
1	PL

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**NEW SECOND UNIT/GARAGE**  
 353 N. CLAREMONT STREET  
 SAN MATEO, CA

Date 5-23-06  
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